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34 Powder Mill Road, Warrington, WA4 1GD

£1,600 Per Month

FOUR BEDROOM END TERRACE PROPERTY, KITCHEN WITH APPLIANCES, LIVING ROOM AND SEPARATE SNUG, UPVC DOUBLE GLAZING, GAS CENTRAL HEATING, DRIVEWAY PARKING, GARAGE AND GARDEN ROOM, VIEWING RECOMMENDED.

We are delighted to offer to the rental market, this well presented four bedroom end terrace property, located in a popular residential area on Powder Mill Road.

The accommodation comprises: entrance hallway with stairs leading up, sitting room open plan to the hallway, family lounge, ground floor w.c, fully fitted kitchen with white good appliances, utility room, orangery/sun room, four good sized bedrooms, family bathroom and an additional ensuite shower room.

Benefiting from uPVC double glazing and gas central heating, this property also has a driveway, providing off road parking, a rear garden, and garage.

Available now, viewing recommended.

Outside



Externally this property has off road driveway parking and a large rear garden.

Entrance Hallway



access to all ground floor rooms and stairs leading to the first floor.

W/C



Accessed from the hallway, with a low level w.c and a wash hand basin and a uPVC window to the front elevation.

Lounge



Complete with french doors to the rear garden and a uPVC window to the front elevation.

Sitting Room



Open plan to the hallway. Complete with a uPVC window to the front elevation.

Utility



Base units with a washing machine, stainless steel sink with mixer tap, tiled flooring and open plan to the kitchen and orangery.

Kitchen



Modern kitchen, with a range of wall, base units. Incorporating 1 1/2 sink with mixer tap, integrated oven and gas hob with extractor over, dishwasher, complete with tiled flooring and open plan window to the orangery.

Orangery



Open plan to the kitchen, tiled flooring, uPVC doors open to the rear garden, with a large velux window/sky light.

Bathroom



Modern bathroom with a three piece suite comprising low level w.c, pedestal hand wash basin, bath with shower over and glass screen, with part tiled walls and a uPVC double glazed window to the rear elevation.

Bedroom 1



Good sized bedroom with a uPVC double glazed window to the front elevation, access to en suite.

Ensuite



Modern bathroom with a three piece suite comprising low level w.c, pedestal hand wash basin, shower enclosure with glass screen, with part tiled walls and a uPVC double glazed window to the rear elevation.

Bedroom 2



Good sized bedroom with a uPVC double glazed window to the rear elevation.

Bedroom 3



Good sized bedroom with a uPVC double glazed window to the front elevation.

Bedroom 4



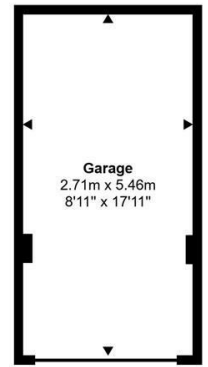
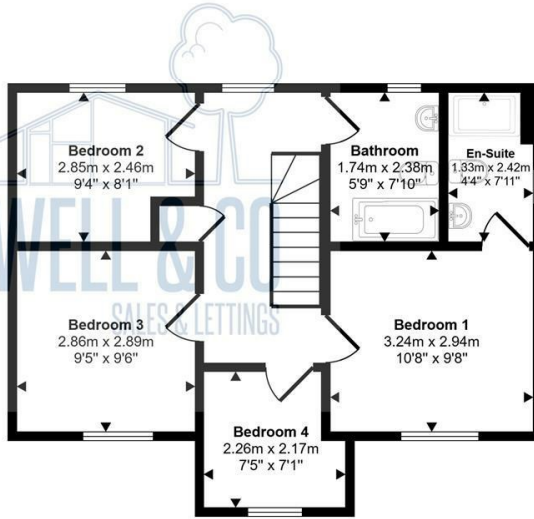
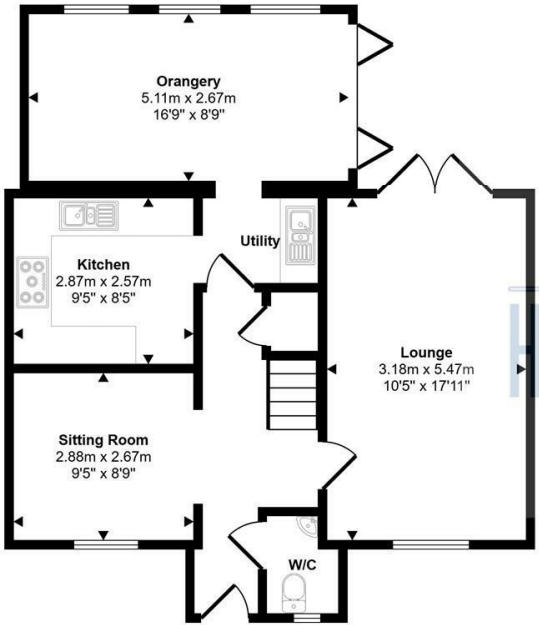
Good sized bedroom with a uPVC double glazed window to the front elevation.

Garage

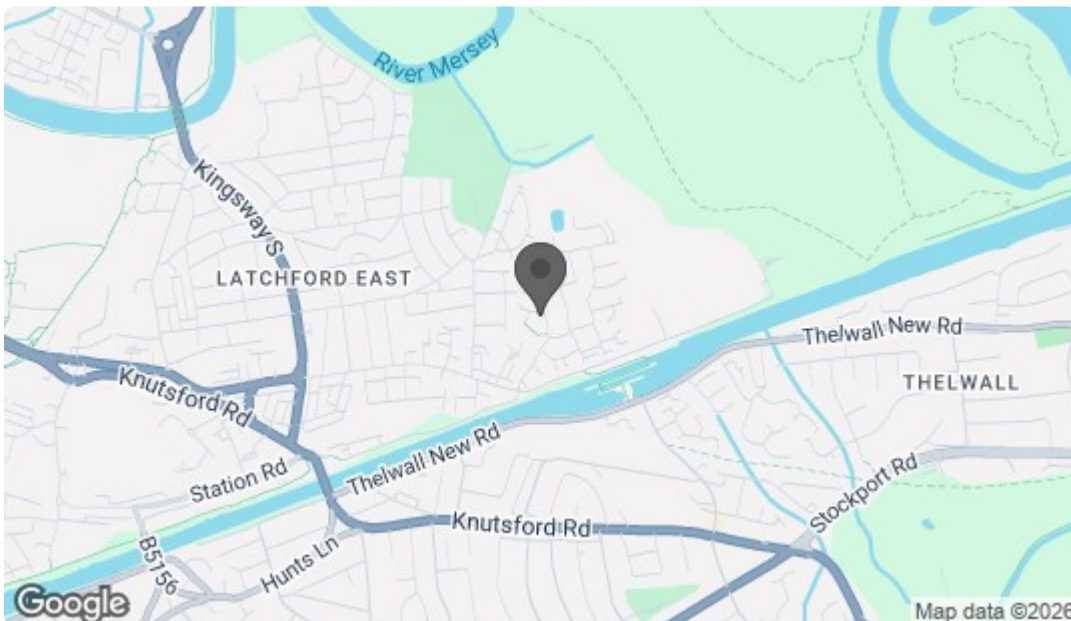


Providing additional storage with an up and over door.

Approx Gross Internal Area
126 sq m / 1351 sq ft



This floorplan is only for illustrative purposes and is not to scale. Measurements of rooms, doors, windows, and any items are approximate and no responsibility is taken for any error, omission or mis-statement. Icons of items such as bathroom suites are representations only and may not look like the real items. Made with Made Snappy 360.



Energy Efficiency Rating		Current	Potential
Very energy efficient - lower running costs			
(92 plus)	A		
(81-91)	B		
(69-80)	C		
(55-68)	D		
(39-54)	E		
(21-38)	F		
(1-20)	G		
Not energy efficient - higher running costs			
England & Wales		EU Directive 2002/91/EC	
Environmental Impact (CO ₂) Rating			
Very environmentally friendly - lower CO ₂ emissions			
(92 plus)	A		
(81-91)	B		
(69-80)	C		
(55-68)	D		
(39-54)	E		
(21-38)	F		
(1-20)	G		
Not environmentally friendly - higher CO ₂ emissions			
England & Wales		EU Directive 2002/91/EC	